

PROPOSED RESIDENCE

7 DE SALIS DRIVE, JUNEE NSW 2663

LOT 22 DP 811541
LOT SIZE - ≈4710m²
LGA: JUNEE SHIRE

DESIGNED FOR:
SHEATHER

DRAWING SCHEDULE:

NO.	TITLE
A00	SITE PLAN
A01	ROOF PLAN
A02	GROUND FLOOR PLAN
A03	FIRST FLOOR PLAN
A04	SECTION
A05	ELEVATIONS
A06	ELEVATIONS
A07	GLAZING SCHEDULE + BASIX

BUILDING NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER ASSOCIATED DOCUMENTS. LEVELS SHOWN ARE RELATIVE ONLY.

BUILDER TO ENSURE ALL UNDERGROUND SERVICES, PIPES AND CABLES TO BE LOCATED PRIOR TO EXCAVATION. CALL 'DIAL BEFORE YOU DIG' ON 1100 OR GO TO www.1100.com.au

SITE: THE BUILDER SHALL SUPPLY/INSTALL AND MAINTAIN THE FOLLOWING IN ACCORDANCE WITH LOCAL COUNCIL AUTHORITY:

- SEDIMENT CONTROL MEASURES
- STABILISED ENTRY POINT
- CONTROLLED RUBBISH AREA
- TOILET FACILITIES

COMPLIANCE: ALL BUILDING WORK TO COMPLY WITH THE 'NATIONAL CONSTRUCTION CODE' OF AUSTRALIA 2022, AND ANY REFERENCED AUSTRALIAN STANDARDS AND LOCAL COUNCIL AUTHORITY REQUIREMENTS. ALL AREAS TO BE MADE GOOD BY THE BUILDER WHERE DISTURBED BY THE NEW WORK.

BASIX: BASIX - ALL SELECTIONS TO COMPLY WITH ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS OF THE ASSOCIATED BASIX CERTIFICATE.

CONCRETE: ALL CONCRETE SLAB & FOOTINGS FOR CLASS 1 & 10a BUILDINGS TO COMPLY WITH AS 2870 'RESIDENTIAL SLAB & FOOTINGS'.

STORMWATER: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3500.3 - 2003 (PLUMBING AND DRAINAGE - STORMWATER DRAINAGE) OR AS/NZS 3500.5 - 2000 (NATIONAL PLUMBING AND DRAINAGE DOMESTIC INSTALLATIONS)

SEWER: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3500.2 - 2003 (PLUMBING AND DRAINAGE - SANITARY PLUMBING AND DRAINAGE) OR AS/NZS 3500.5

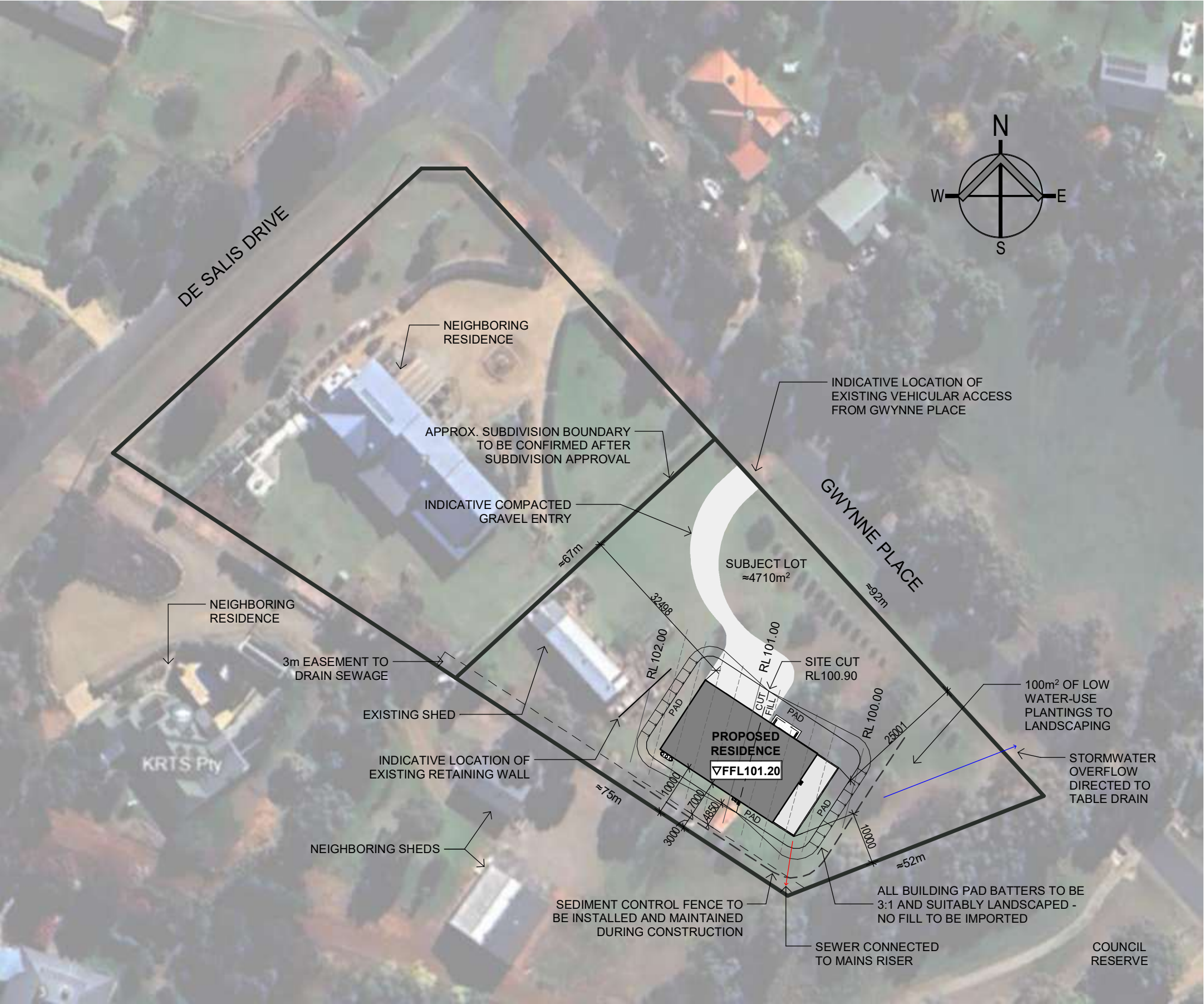
TERMITE PROTECTION: PROVIDE PHYSICAL AND CHEMICAL TERMITE BARRIERS IN ACCORDANCE WITH THE NCC 2022 VOL 2, PART 3.4 'TERMITE RISK MANAGEMENT' AND AS 3660.1.

MASONRY: TO BE IN ACCORDANCE WITH AS 3700 (MASONRY STRUCTURES).

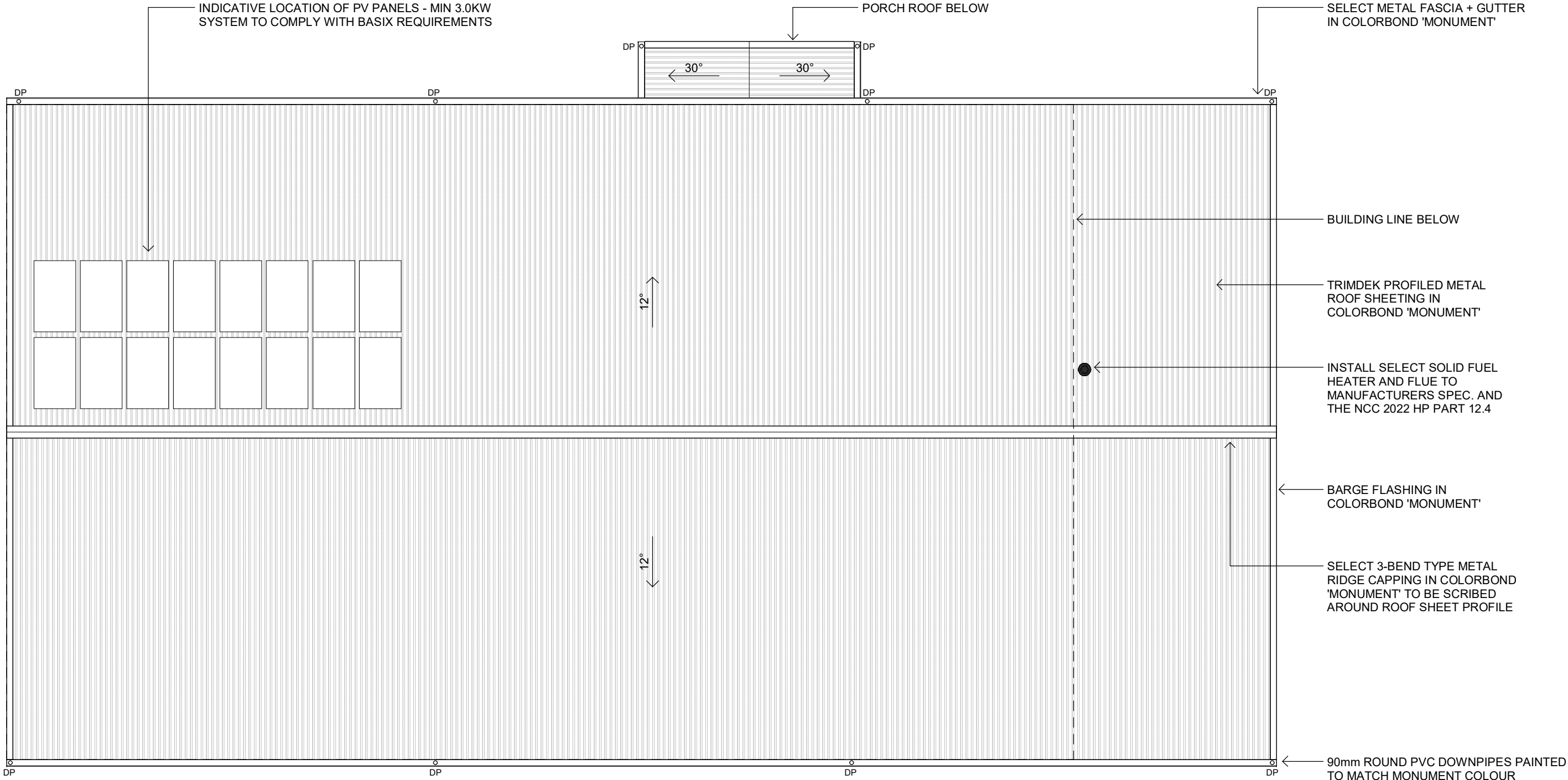
ELECTRICAL: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3018 -2001 (ELECTRICAL INSTALLATIONS - DOMESTIC INSTALLATIONS)

WET AREA WATERPROOFING: TO BE IN ACCORDANCE WITH THE NCC VOL 2 PART 10.2 'WET AREA WATERPROOFING'. EXTERNAL WATERPROOFING AND MATERIALS SELECTION, SYSTEM DESIGN AS PER AS 4654.

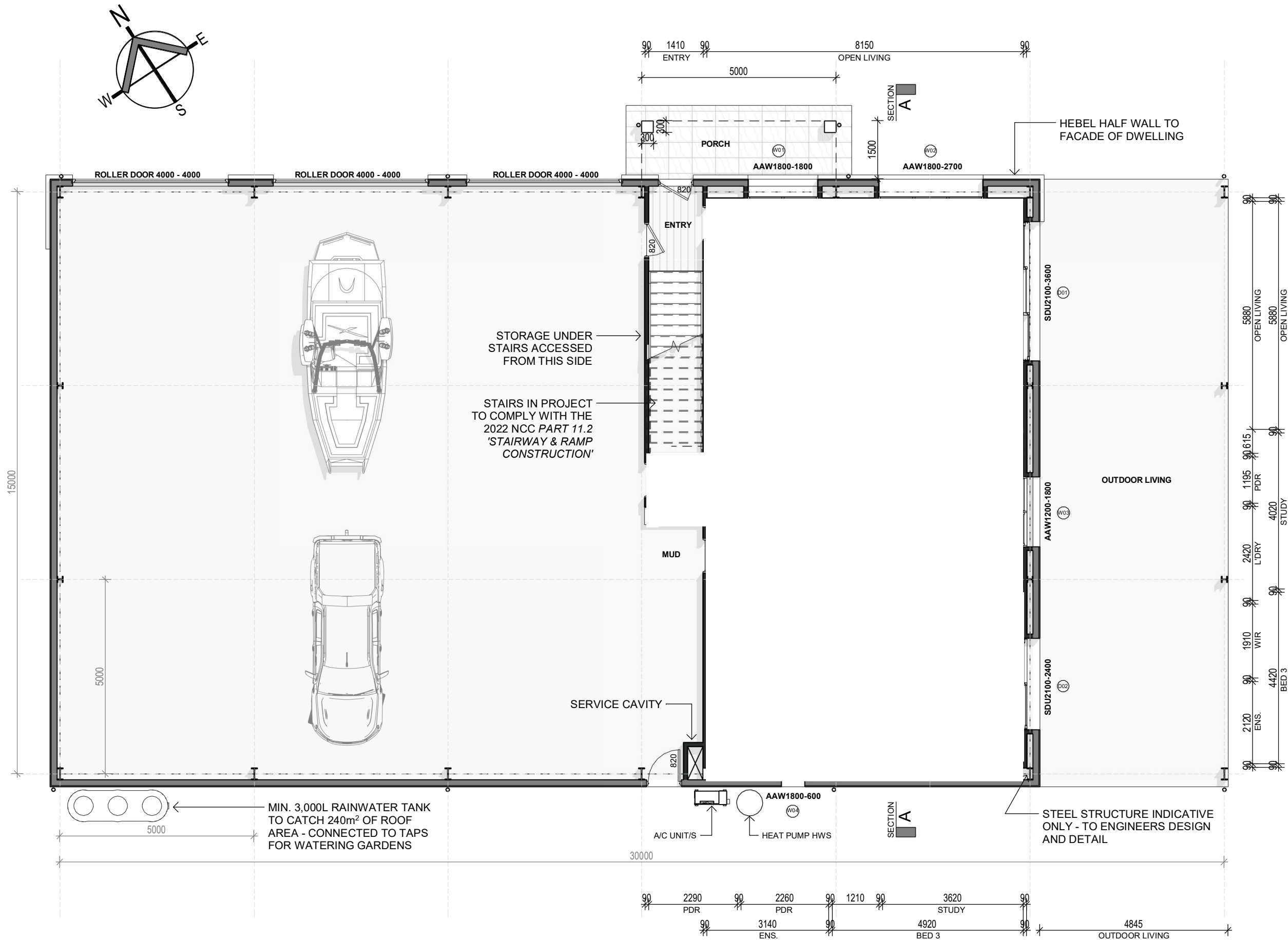
GLAZING: SELECTION AND INSTALLATION TO AS 2047 AND GLASS TYPE AND THICKNESS TO AS 1288. ALL OTHER COMPONENTS TO COMPLY WITH RELATIVE STANDARDS.



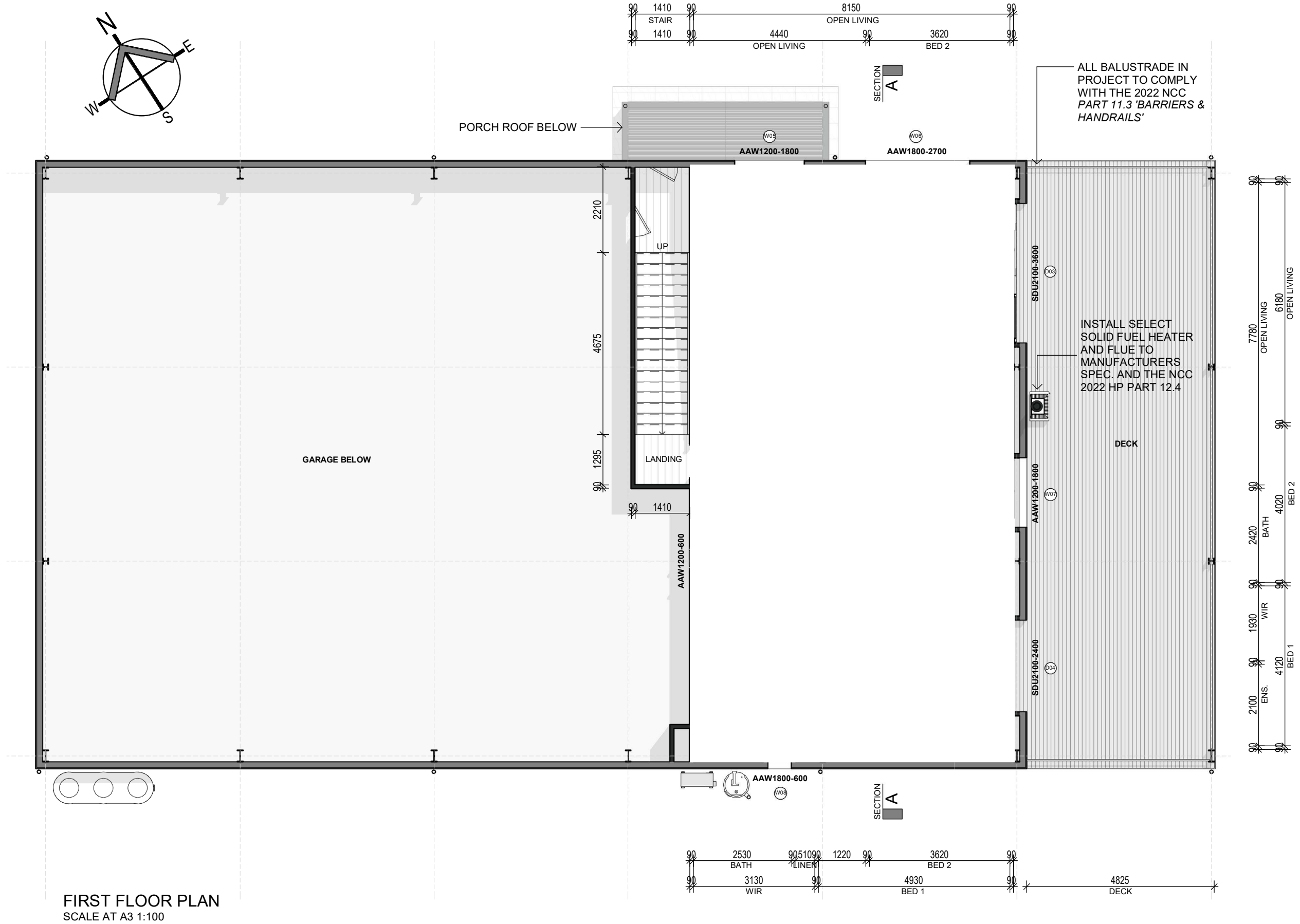
SITE PLAN
SCALE AT A3 1:800









ROOF PLAN
SCALE AT A3 1:100



GROUND FLOOR PLAN
SCALE AT A3 1:100



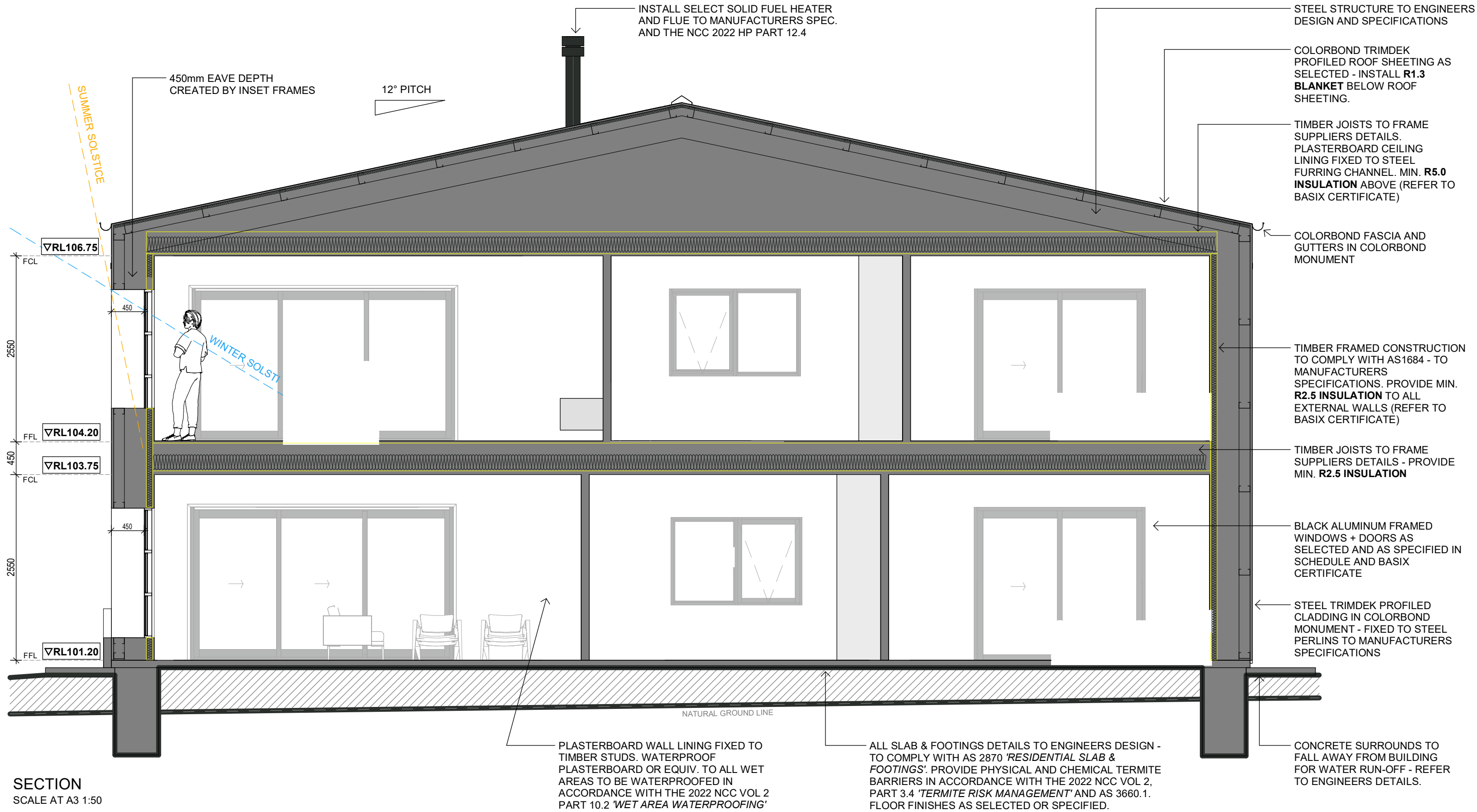
-  CARPET
-  TILE
-  TIMBER
-  CONCRETE
-  PAVER
-  DECKING

- | | |
|-----|--------------------------|
| CT | COOKTOP AS SELECTED |
| CSD | CAVITY SLIDER DOOR |
| DW | DISHWASHER |
| DR | DRYER |
| FW | FLOOR WASTE |
| OV | OVEN AS SELECTED |
| REF | REFRIGERATOR AS SELECTED |
| RH | RANGEHOOD AS SELECTED |
| TR | TOWEL RAIL |
| TS | TILED SHELF |
| TV | TELEVISION |
| WM | WASHING MACHINE |

INDICATES SMOKE ALARMS
INSTALLED IN ACCORDANCE WITH
THE NCC 2022 HP PART 9.5 'SMOKE
ALARMS AND EVACUATION
LIGHTING' AND AS 3786 -1993,
SMOKE ALARMS

VENTILATION NOTE: INSTALL MECHANICAL VENTILATION AS PER THE 2022 NCC VOL 2 PART 10.6 'VENTILATION'

FLOOR AREAS	
GROUND FLOOR LIVING -	118m ²
GARAGE -	270m ²
PORCH -	8m ²
OUTDOOR LIVING -	75m ²
STAIRWELL -	11m ²
FIRST FLOOR LIVING -	118m ²
DECK -	75m ²
<u>TOTAL -</u>	<u>675m²</u>





NORTHERN ELEVATION
SCALE AT A3 1:100



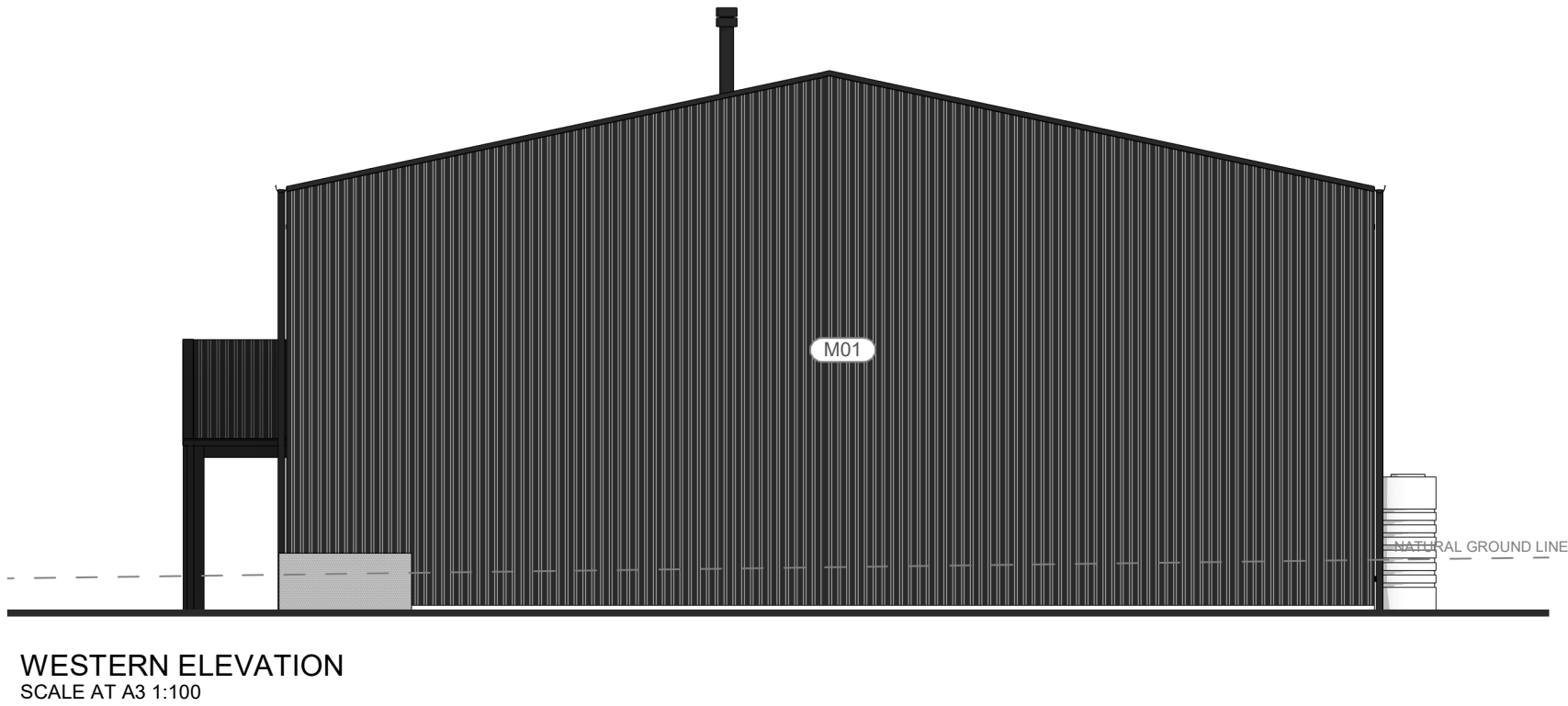
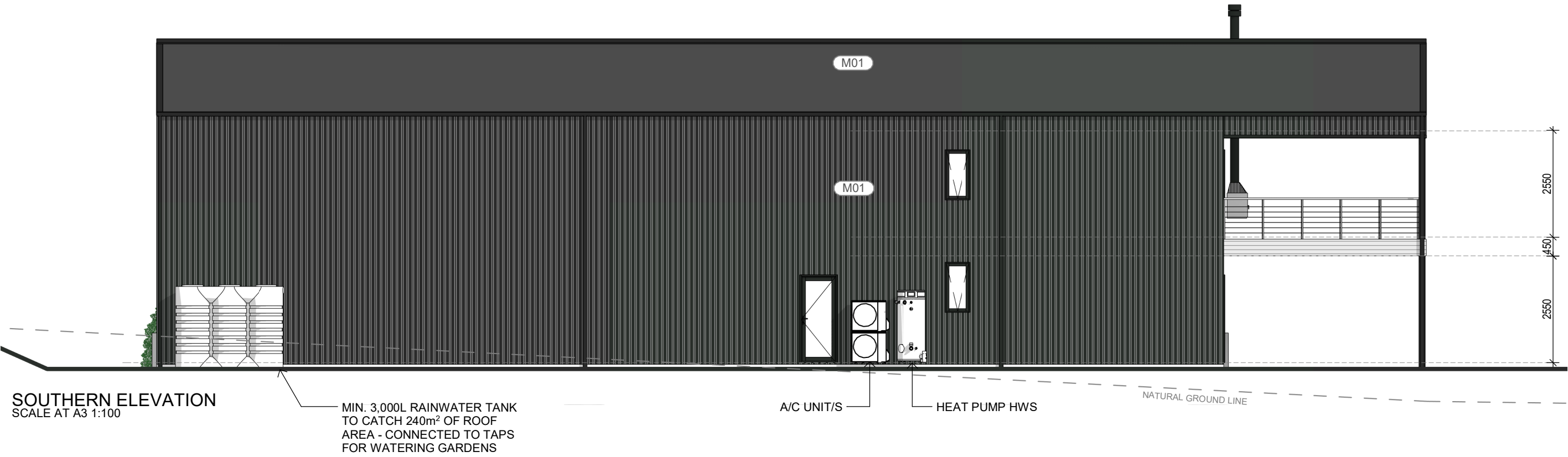
EASTERN ELEVATION
SCALE AT A3 1:100



TRIMDEK PROFILED
METAL CLADDING
IN COLORBOND
'MONUMENT'



RENDERED HEBEL
POWERPANEL
FINISHED IN SELECT
GREY COLOUR



TRIMDEK PROFILED
METAL CLADDING
IN COLORBOND
'MONUMENT'




RENDERED HEBEL
POWERPANEL
FINISHED IN SELECT
GREY COLOUR

GLAZING SCHEDULE				
NO.	HEIGHT(mm)	WIDTH(mm)	HEAD(mm)	DESCRIPTION
W01	1800	1800	2100	ALUMINIUM, CLEAR, AWNING WINDOW
W02	1800	2700	2100	ALUMINIUM, CLEAR, AWNING WINDOW
W03	1200	1800	2100	ALUMINIUM, CLEAR, AWNING WINDOW
W04	1800	600	2100	ALUMINIUM, OBSCURE, AWNING WINDOW
W05	1200	1800	2100	ALUMINIUM, CLEAR, AWNING WINDOW
W06	1800	2700	2100	ALUMINIUM, CLEAR, AWNING WINDOW
W07	1200	1800	2100	ALUMINIUM, CLEAR, AWNING WINDOW
W08	1800	600	2100	ALUMINIUM, OBSCURE, AWNING WINDOW
D01	2100	3600	2100	ALUMINIUM, CLEAR, SLIDING DOOR
D02	2100	2400	2100	ALUMINIUM, CLEAR, SLIDING DOOR
D03	2100	3600	2100	ALUMINIUM, CLEAR, SLIDING DOOR
D04	2100	2400	2100	ALUMINIUM, CLEAR, SLIDING DOOR

GLAZING NOTES

- ALL WINDOWS & GLAZED DOOR INSTALLATION TO COMPLY WITH AS 2047 AND AS 1288. BUSHFIRE PRONE AREAS TO COMPLY WITH AS 3959 - REFER TO BUSHFIRE NOTES FOR BUSHFIRE ATTACK LEVEL (BAL) (IF APPLICABLE TO PROJECT).
- WINDOW FRAME AND GLAZING PERFORMANCE LEVELS TO MEET OR EXCEED BASIX CERTIFICATE REQUIREMENTS.
- BUILDER TO ADVISE FRAMING MANUFACTURER OF SELECTED WINDOW MANUFACTURERS AS STANDARD WINDOW SIZES VARY SLIGHTLY BETWEEN MANUFACTURERS.
- ALL WINDOW AND DOOR DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.
- ALL OPERABLE WINDOWS TO BE FITTED WITH SEALS AND TIGHT FITTING FLY SCREENS.
- EXTERNAL DOORS TO BE FITTED WITH WEATHER SEALS ALL ROUND.

Basix Requirements Summary					
New Dwelling 7 De Salis Drive JUNEE NSW 2663		Prepared by Chapman Environmental Services www.cesenergy.com.au 1300 004 914			
Water Target	20	Water Score	20	Conditioned Area	254.5
Energy Target	67	Energy Score	90	Unconditioned Area	7.6
Max H & C Loads are (MJ/m²)	94	Actual H & C Loads are (MJ/m²)	93.9	Star Rating	7.1
Basix Commitments					
Landscaping	Total area of garden & lawn (m²) 500		Area of indigenous/low water use plants (m²) 100		
Fixtures	Shower heads 4 star (> 6 but <= 7.5 L/min)		Toilets 4 star		All taps 4 star
Alternative Water	Minimum Rainwater tank size (L) 3000		Collect run off from roof area of at least (m²) 240		
	Toilet connection No	Laundry connection No	Landscape connection Yes	Pool top up n/a	Spa top up n/a
Pool and Spa	Max pool volume (kL) n/a				
Energy	Hot water system	Electric heat pump - air sourced		Rating	15 to 20 STCs
	Bathroom ventilation	Individual fan, ducted to facade or roof		with	Manual switch on/off
	Kitchen ventilation	Individual fan, ducted to facade or roof		with	Manual switch on/off
	Laundry ventilation	Individual fan, ducted to facade or roof		with	Manual switch on/off
	Cooling - living areas	3-phase airconditioning		Rating	EER 3.0 - 3.5
	Cooling - bedrooms	3-phase airconditioning		Rating	EER 3.0 - 3.5
	Heating - living areas	3-phase airconditioning		Rating	EER 3.0 - 3.5
	Heating - bedrooms	3-phase airconditioning		Rating	EER 3.0 - 3.5
	Alternate Energy	Photovoltaic system able to generate at least		Min 3.0	peak kilowatts of electricity
	Electric cooktop & electric oven	Outdoor clothesline required		No indoor clothesline required	
Thermal Performance Assessment Based on the Following Requirements					
Floor Types	Concrete slab on ground		with No insulation required		
Floor Coverings	Tiles	Lower Living / Lower bedroom / Wet areas		Timber	Upper Living / Upper bedrooms
	Carpet	n/a		Concrete	Garage
External Walls	Timber framed Metal clad		with Sarking and R2.5 bulk insulation		Colour Dark
Internal Walls	Plasterboard		with R2.5 bulk insulation to garage internal walls only		
Ceiling (floor over)	Timber above plasterboard		with R2.5 bulk insulation		
Ceilings (roof over)	Timber above plasterboard.		with R5.0 bulk insulation		
Roof	Metal 12 degrees		with R1.3 roof blanket		Colour Dark
Windows and Doors	AF double glazed clear		Awning W	U-Value 5.40 or less	SHGC 0.50 +/- 5%
	to all windows and glazed doors unless noted otherwise		Sliding D	U-Value 4.54 or less	SHGC 0.54 +/- 5%
AF = Aluminium Framed		TB = Thermally Broken Aluminium Framed		TF = Timber Framed	
<i>If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent</i> <i>Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed</i> <i>All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA</i> <i>If there is a discrepancy between this document and the Natthers Certificate, then the Natthers Certificate shall take precedence</i>					